

shack. X SILVERLAKE

@shackgroup



The 3-bed Outland, now available at Silverlake.
Also available as a 4-bed option.



Introducing...

THE OUTLAND³.

by shack.

Architectural & avant-garde cabins,
built sustainably, for home, country estate & resort.



shack.

We create architectural
and avant-garde properties,
for home and private estate
owners, using materials and
practices that are gentle on
the planet.

Architectural & avant-garde cabins,
built sustainably, for home, country estate & resort.

S.

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The Shack OUTLAND is a proprietary, pitched roof design that comes in various size options:

‘hotel room’ (35m²)...

1-bed (84m²)...

2-bed (90m²)...

3-bed (115.5m²)*...

& 4-bed (138.5m²)*.

*The following information outlines the 3-Bed (115.5m²), and 4-bed optional upgrade (137.5m²), now available at Silverlake, Dorset.

Figure 1. Exterior A



WALL CLADDING MATERIALS

Our four preferred timber cladding materials are:

- Accoya*
- Western Red Cedar*
- Thermowood Redwood

*Optional cladding upgrades:

- Accoya Grey/Accoya Sikkens colours: +£29,500
- Accoya A1 pre-weathered = +£19,500
- Western Red Cedar = +£14,500
- Thermowood + Sikkens coating = +£12,500

CLADDING DETAILS

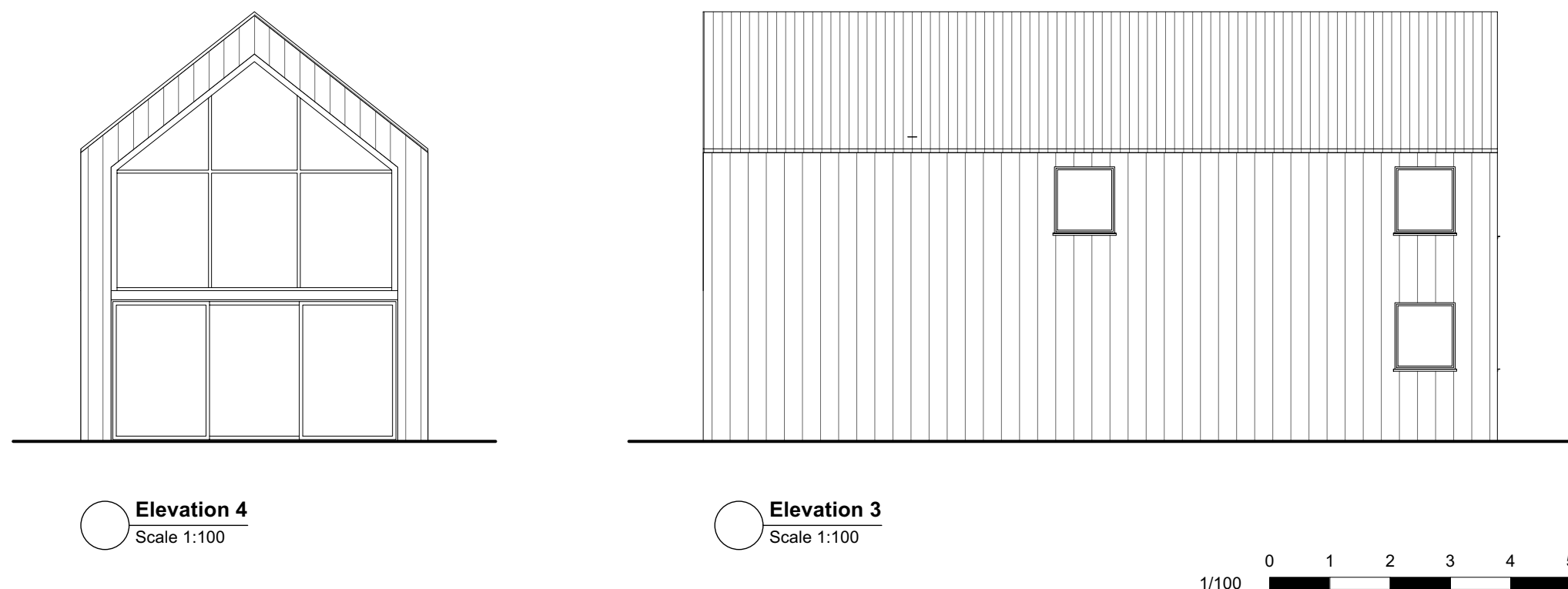
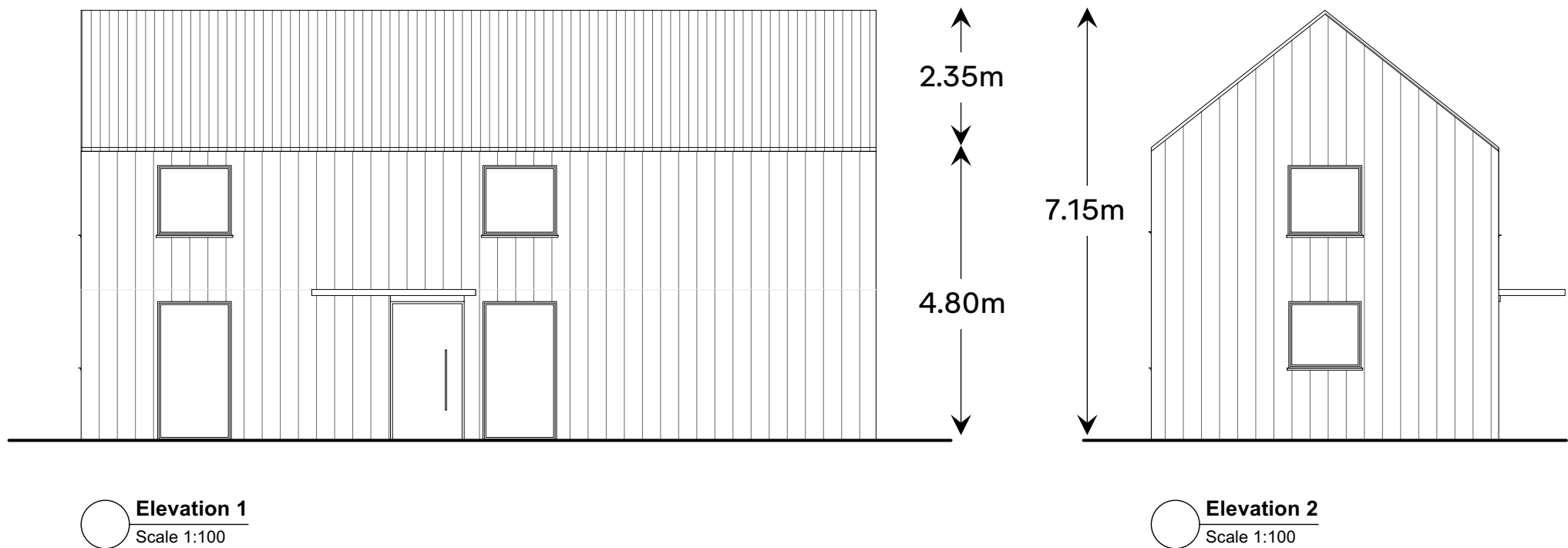
To create a very crisp, very precise overall finish, our cladding features...

- 144mm widths
- 6mm shadow gaps
- only 2mm radius bevelling

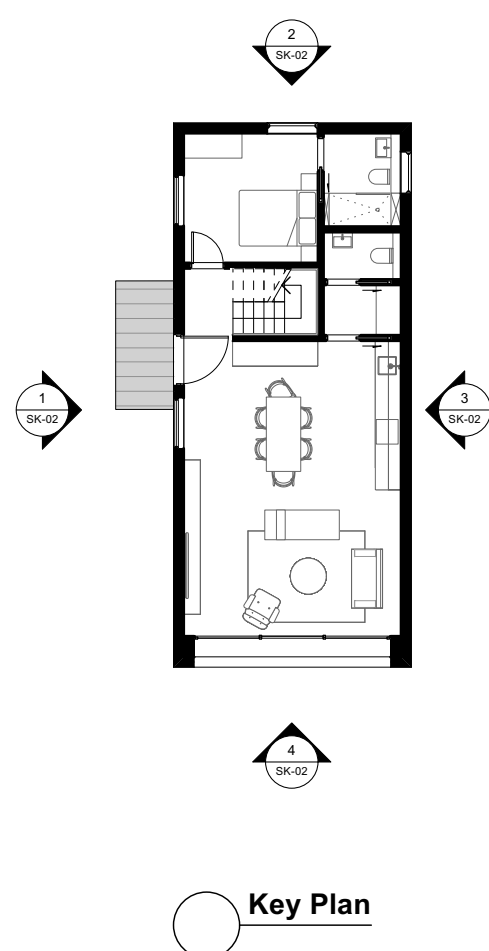
Rear elevation integrated bat and bird boxes optional at no extra cost.

External Elevations

Figure 2. Elevations 1 through 4.



1/100 0 1 2 3 4 5 m



COMMENTARY –

When we talk about being a “cabin company”, we mean cabins in the international, 21st Century sense. As in, amazing, luxury buildings made from timber, steel and glass. If you’ve ever visited California, British Columbia, New England, Norway or Sweden, then you probably know exactly what we mean.

Having scoured the globe and been inspired by the very latest in timber construction and materials innovation, we created Shack, and a series of bespoke building designs in service to helping make everyone's everyday lives just that little bit happier and healthier.

Floorplan only

Figure 3. Ground, first floor floor plans & external aerial.



○ Proposed Ground Floor Plan
Scale 1:100

○ Proposed First Floor Plan
Scale 1:100

○ Proposed Roof Plan
Scale 1:100

ON THE DECK OPTIONAL EXTRAS (AT TIME OF PURCHASE)

- Recessed fire pit (1m x 1m).
- Integrated, sunken plunge pool.
- Integrated, part-recessed hot tub.

BEYOND THE DECK OPTIONAL EXTRAS

- 'HOT SHACK' sauna unit (+£9,500).
- 'YOGA SHACK' outbuilding (+£23,500).
- Can be ordered at a later date.

ROOFING MATERIALS

- GreenCoat PLX colour coated steel system (entry-level option).
- Various colour options available. Final colour tbc. colour does not affect price. Materials include 50-year technical guarantee.
- Gutters and drainpipes internalised.
- Timber-clad roof option (as an extra).

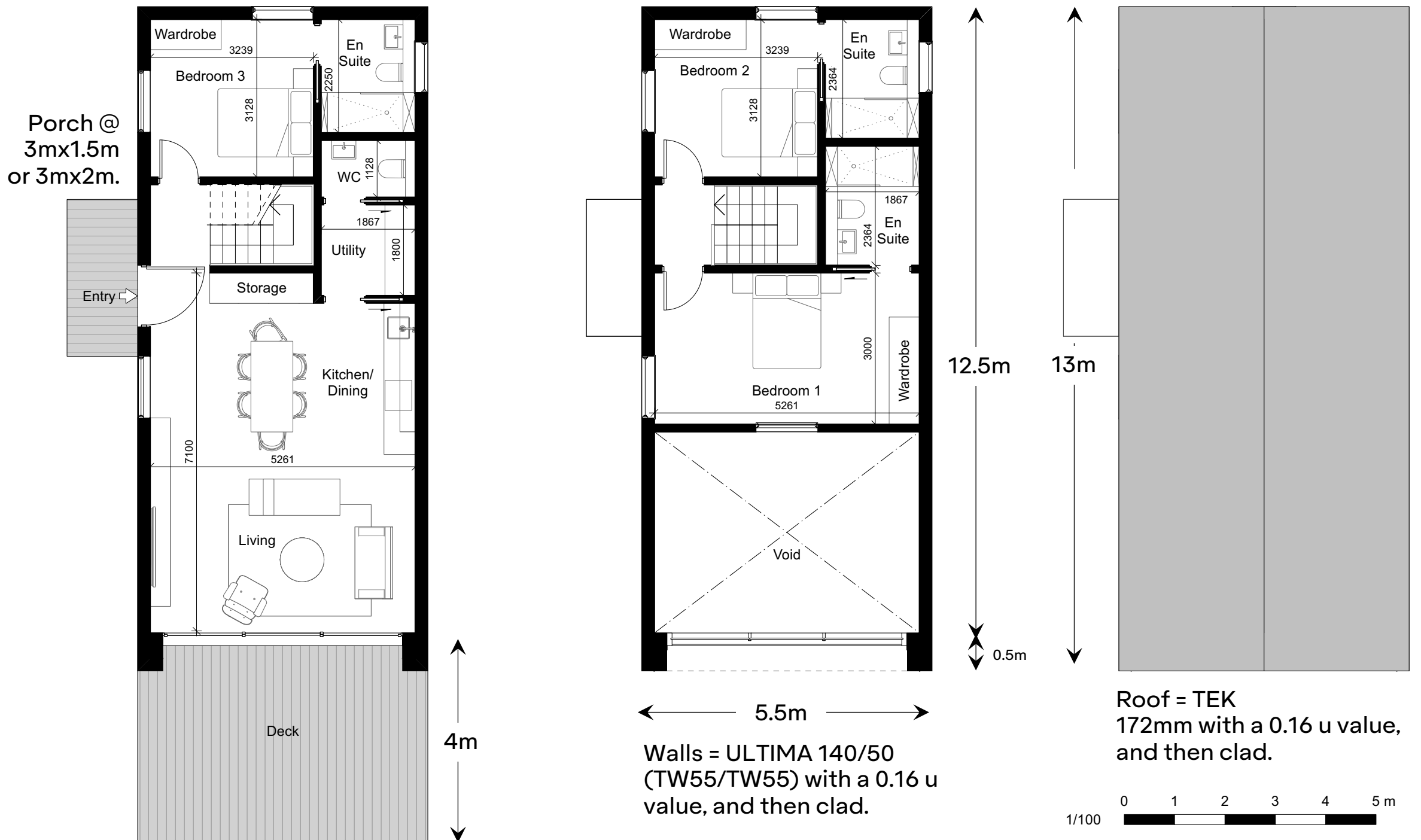
SHACK INTERIORS

- Please note we also offer an interiors consultancy and product sourcing service and have curated a number of interior and garden furniture pieces to complete 'the Shack look'.

BUILD TIME: 6-TO-9 MONTHS.

Floorplan + Key Dimensions

Figure 4. Floor plans & key dimensions.



PRICING & WHAT'S INCLUDED

INSIDE -

- Wooden flooring (living space; ensuites; WC).
- Carpets in bedrooms.
- Kitchen (dishwasher, fridge, single hob oven).
- Ceramics, fixtures, showers in all ensuites.
- Wall and ceiling paints colour-matched (to Farrow & Ball, Little Greene and Zophany ranges.)

OUTSIDE -

- Bodpave with gravel driveway (up to 10m) from boundary to side of property/back of house.
- Services connection from house to boundary.
- Landscaping of whole plot (grass, plants, shrubbery and small trees).

THE 3-BED OUTLAND.

EXTERNAL FOOTPRINT -

Ground floor =
68.75m² (12.5m x 5.5m)

First floor =
46.75m² (8.5m x 5.5m)

TOTAL: 115.5 M² (1,243 FT²)

From £399,500

Also including:

LANDSCAPING & EXTERNAL WORKS:

= Plot foul & storm drainage

= Plot services

= Foundations & Footings (concrete piles down to between 10m-20m)

By separate agreement:

+ HFG LAND PURCHASE: Prices vary subject to plot.

Nb:

(1) New build properties are exempt from VAT.

(2) This building meets energy efficiency requirements as per Part L and Part O building regulations.

(3) 4-bed 'upgrade' (loss of living room void and addition of 23m² upstairs): +£68,000. please see page 17.

3D Visualisations

Figure 5. Exterior B

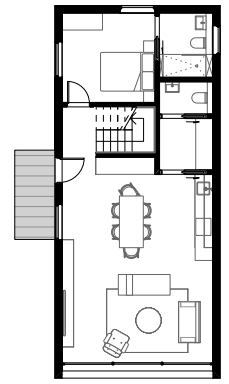


Figure 6. Exterior C

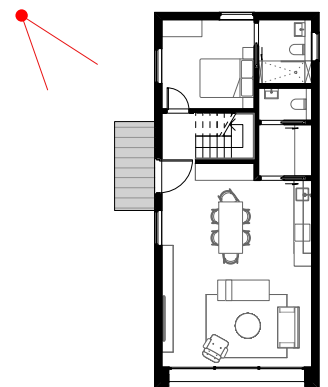


Figure 7. Exterior D

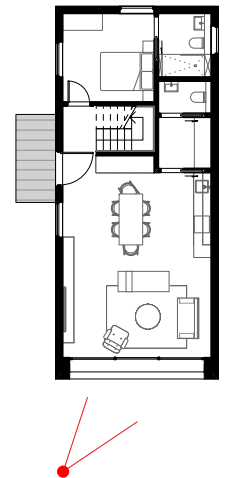
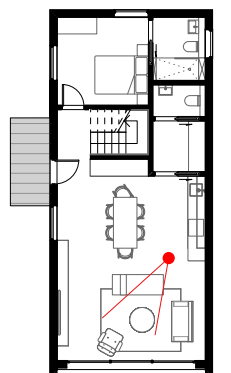
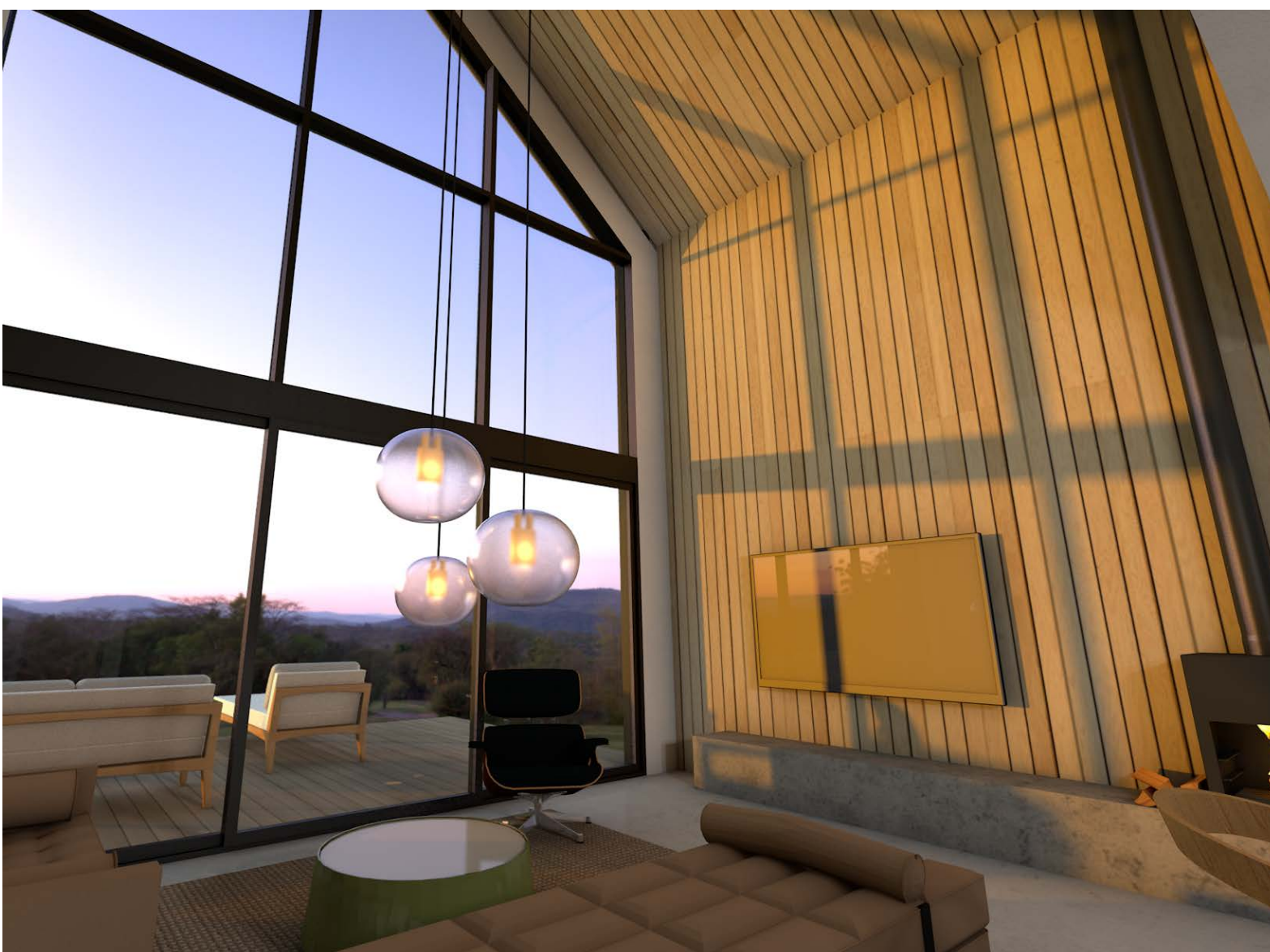


Figure 8. Interior A



NB: Internal layout is illustrative. Wall clad walls and ceilings to the living space are an upgrade feature, starting from £6,500.

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Part L & Part O Compliance & Building Performance

The Shack 3-bed Outland is fully compliant with the very latest Part L and Part O requirements, as pertain to residential new build developments.

The Outland features a MVHR (Mechanical Ventilation Heat Recovery) system with cooling module, and an air source heat pump. The Outland in consequence surpasses Part L requirements by 40%. To learn more about the MVHR products used, please click: [HERE](#).

Additionally, the glazing systems throughout incorporate UV filters and achieve a G-value of only 0.4. (G-values are the industry standard measurement for solar transference.)

The entire building carries a U-value of 1.2 – as relates to heat loss through any element of the building. In total, the Shack 3-bed Outland is accredited with an EPC B-rating.

Please note a 4 Kilowatts solar pack upgrade is available at a cost of £9,800. With this further addition, the Outland then surpasses Part L requirements by 60%.

For more information on Part L, please go to page 25.

MATERIALS

Figure 9. External Cladding, Decking & Glazing Frames.



Figure 10. 30 Sikkens colour treatment wood coating options, for Accoya decking & cladding. Thermowood can also be colour treated in a range of colours.



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- Western Red Cedar*
- Thermowood Redwood

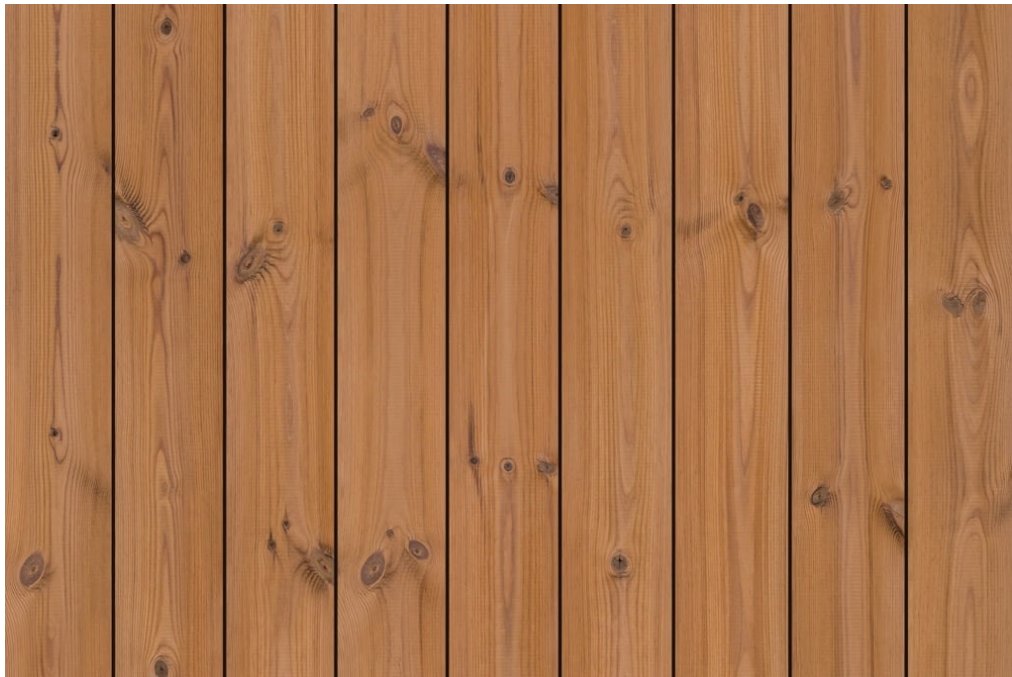
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- Western Red Cedar = +£14,500
- Thermowood + Sikkens coating = +£12,500

MATERIALS

Figure 11. External Cladding & Decking Alternatives.

THERMOWOOD REDWOOD



PLEASE NOTE:

Our short-listed timber cladding options are all premium options, with 10-to-50-year warranties. These images are merely illustrative. Cladding and decking can be coloured and treated in ways that accelerates or slows aging and bleaching, subject to desired preference.

WESTERN RED CEDAR



Figure 12. Screw & Baton System

The screw and baton system we use is very deliberate, with products that have been carefully sourced and tested, and all for one simple reason – these fastenings bring together form and function. The integrity of the materials used, and how well they’re all put together, is part of the design and overall finish.

The Shack Outland, in all iterations, features a premium quality exterior stainless-steel deck/cladding screw, manufactured from 316 grade stainless steel. Incorporating the all-positive No. 2 square drive, the head of the deck screw, with a 6mm head diameter. With 6 colour ways, this system can either create a near invisible fastening, or be a conspicuously celebrated part of the design.



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MATERIALS

Figure 13. Flooring Options. NB: Kahrs are part of the upgrade options.

TEXTURE WEISS

The dusky-blonde hue is complemented by warm-grey tones, creating a genuine rustic expression on this single-strip oak floor from the Texture Collection. Each board is heavily brushed and the genuine cracks and knots in combination with the saw marks bring out the character of the grain and highlight the natural texture of the wood. Four-sided bevelling at the edges ensures a classic, full plank look and feel.

www.kahrs.com/en-GB/wood-floors/texture-weiss#

1-strip, brushed & oiled, smoked, 15x187x2420mm



TEXTURE GRAU

The smoked stone stain on this single-strip oak floor from the Texture Collection allows the cooler nuances in the base to come through, resulting in a smooth and harmoniously balanced expression. Each board is heavily brushed and the genuine cracks and knots in combination with the saw marks bring out the character of the grain and highlight the natural texture of the wood. Four-sided bevelling at the edges ensures a classic, full plank look and feel.

www.kahrs.com/en-GB/wood-floors/texture-grau

1-strip, brushed & oiled, smoked, 15x187x2420mm

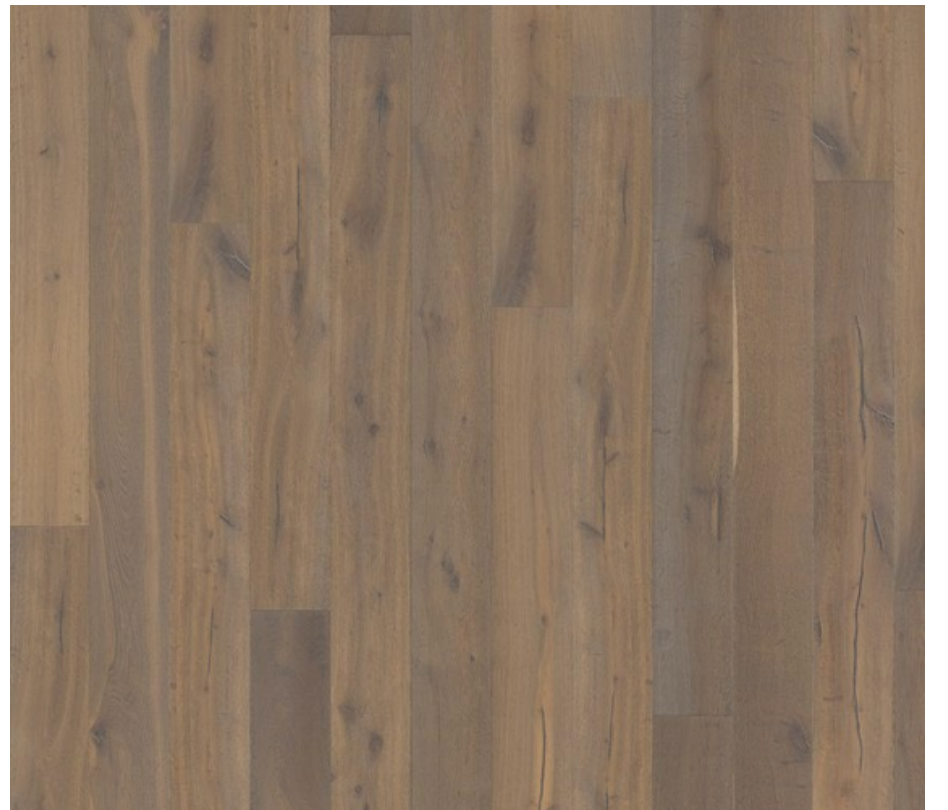


OAK STURE

The natural oil stain on this single-strip oak floor from the Founders Collection accentuates the lightly smoked finish, resulting in a subtle, rustic expression. Every board is carefully brushed to bring out the character of the grain and highlight the texture of the wood. Four-sided bevelling at the edges ensures a classic full plank look and feel. Hand-scraping enhances the worn appearance of the floor.

www.kahrs.com/en-GB/wood-floors/oak-sture

Brushed & oiled, smoked, 15x187x2420mm



NB: other colour options are available, but these are our preferred.

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MATERIALS

Figure 14a. Bathrooms

We source of our bathroom furniture and fixtures from our good friends at West One Bathrooms. As part of our 'Shack look', we include the 'Fifth Avenue' range, which is available in multiple shower heads, mixer handles and 4 finishes (satin, chrome, brass and matt black).



MATERIALS

Figure 14b. Bathrooms

5th Avenue Wall Mounted Basin Mixer

Inspired by the industrial era, the 5th Avenue collection is hand cast, hand forged, hand polished and hand assembled from solid brass. This collection comprises of SEVEN different handles, all of which are compatible with the body for any configurations within the 5th Avenue Collection.

Handle options:

Classic 5th Avenue

Soho

Geom, available with optional ‘H’ and ‘C’ engraved

West, available with optional ‘H’ and ‘C’ engraved

Vegas, available with optional ‘HOT’ and ‘COLD’ engraved

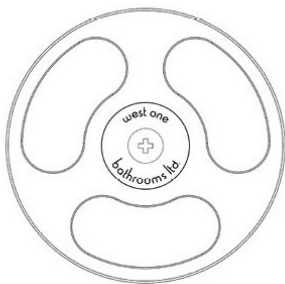
Florence

Tube

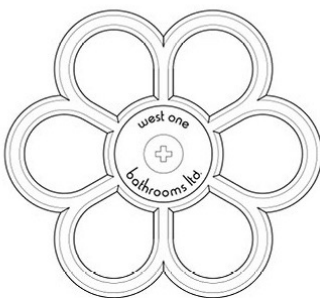
Colour(s)

20 Coloured Handle Finishes and 4 Brassware Body Finishes

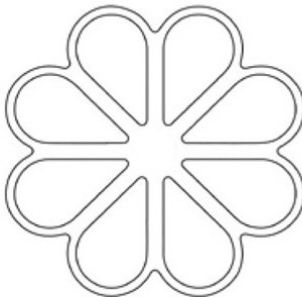
HANDLE TYPES | THE 5th AVENUE COLLECTION



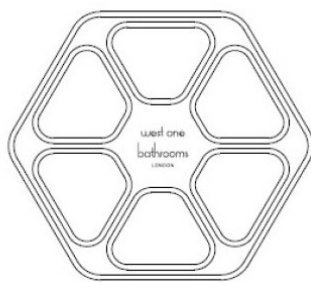
1. Classic 5th Avenue Handle



2. Soho Handle



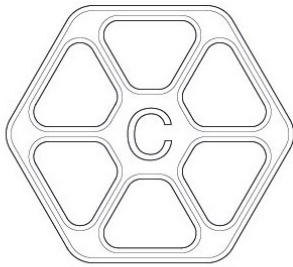
3. Florence Handle



4. Geom Handle



5. Geom Handle with H engraved



6. Geom Handle with C engraved



7. West Handle



8. West Handle with H engraved



9. West Handle with C engraved



10. Vegas Handle



11. Vegas Handle HOT engraved



12. Vegas Handle COLD engraved

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MATERIALS

Figure 14c. Bathrooms



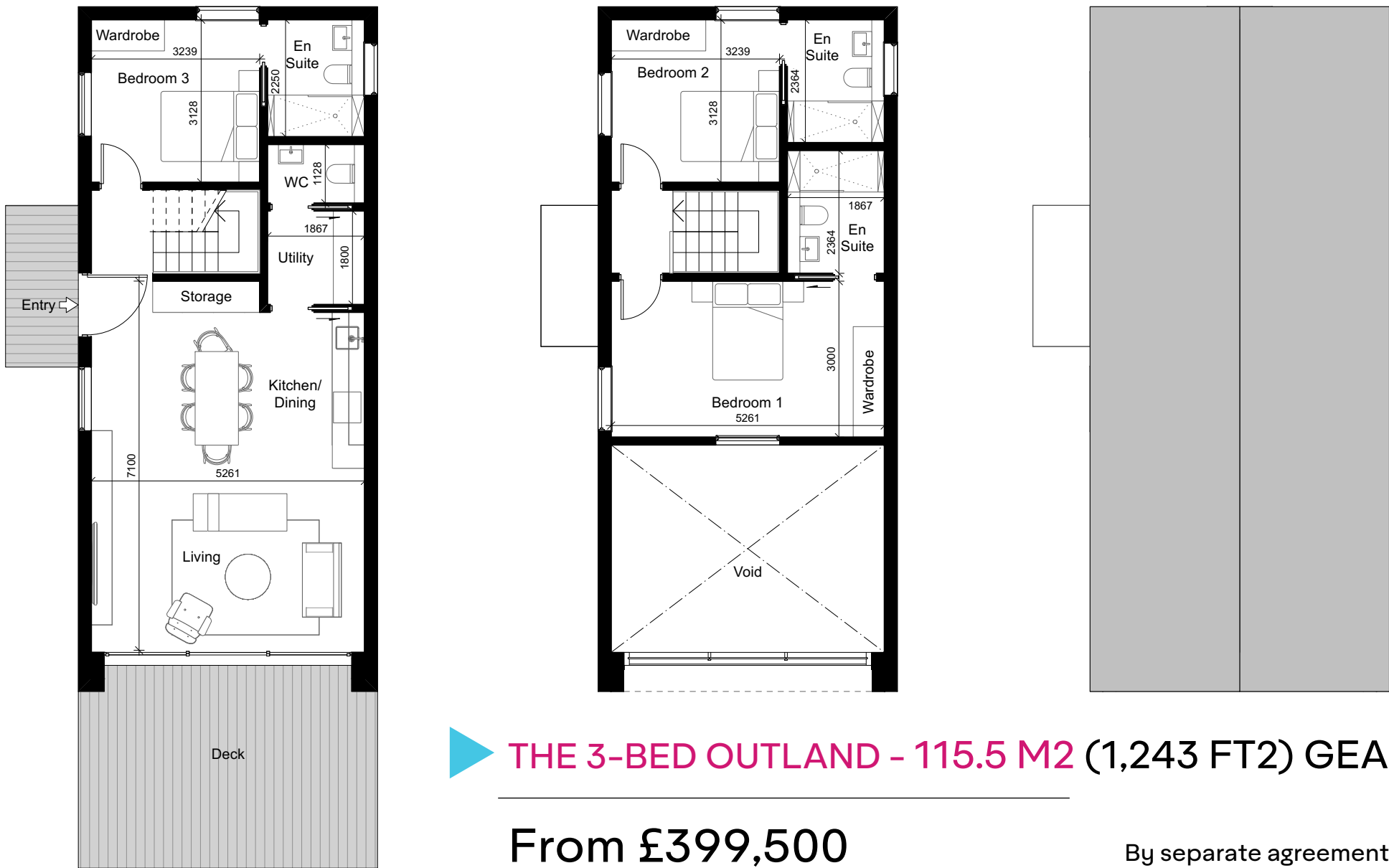
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'3-BED & 4-BED configurations'

Floorplan + Key Dimensions

Figure 16a. Floor plans & key dimensions. 3-bed vs. 4-bed upgrade



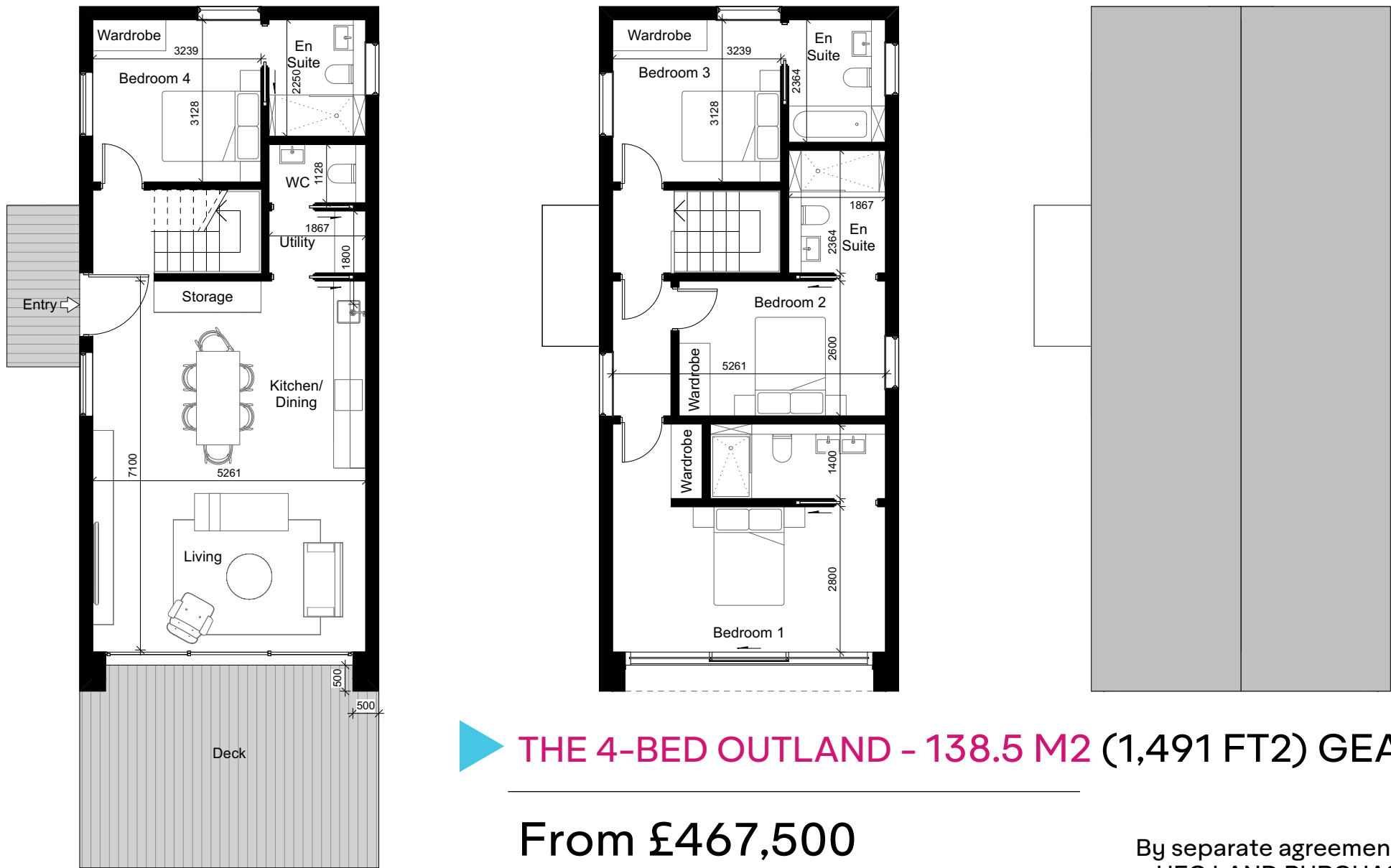
THE 3-BED OUTLAND - 115.5 M2 (1,243 FT2) GEA

From £399,500

NB: New build properties are exempt from VAT.

By separate agreement:
+ HFG LAND PURCHASE:
Prices vary subject to plot.

Figure 16b. Floor plans & key dimensions. 3-bed vs. 4-bed upgrade



THE 4-BED OUTLAND - 138.5 M2 (1,491 FT2) GEA

From £467,500

NB: New build properties are exempt from VAT.

By separate agreement:
+ HFG LAND PURCHASE:
Prices vary subject to plot.

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And subject to plot and elevations, the 4-bed Outland can also be ‘flipped’, with 2-bedrooms on the ground floor and the living space on the first floor.

Floorplan

Figure 17. Floor plans: 4-bed flipped.



► THE 4-BED OUTLAND - 138.5 M2 (1,491 FT2) GEA

From £467,500

NB: New build properties are exempt from VAT.

By separate agreement:
+ HFG LAND PURCHASE:
Prices vary subject to plot.

Figure 18 a & b. 4-bed flipped. Living space (left). External (right).



3D Visualisations

Figure 19. Interior, kitchen space (first floor).

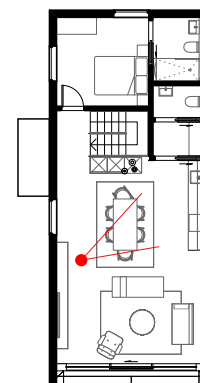
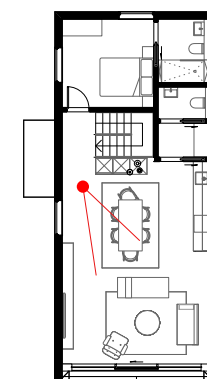


Figure 20. Interior, living space (first floor).



NB: Internal layout is illustrative. Wall clad walls and ceilings to the living space are an upgrade feature, starting from £6,500.

Figure 21. Interior, bedroom 1.

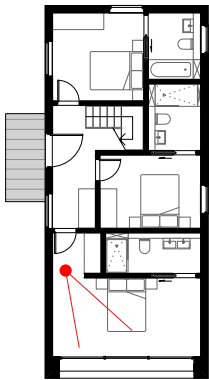
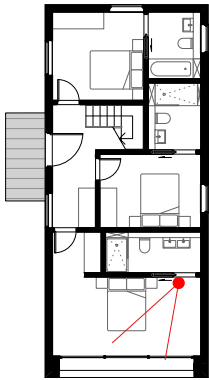


Figure 22. Interior, bedroom 1.



NB: Internal layout is illustrative. Wall clad walls are an upgrade feature.

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We believe

We believe exceptional, high-end architectural design can also be accessible and affordable. That it can (and should) be the preserve of the majority – democratized – and not exclusive to only an affluent few.

To quote one of the greats...

“We want to make the best for the most for the least.”

– Charles & Ray Eames

At Shack., the Eames philosophy has always resonated deeply with us.

We too are driven by an ambition to make the very best cabins and garden retreats, “the best for the most”, using exceptional craftsmanship and finish, but at a price-point that isn’t eye-watering. It’s why our shack pricing is always fair to the materials involved and the high level of detailed finish applied – the only level of finish that we feel happy to put our name to.

SHACK BRAND PARTNERS

We've always considered Shack a lifestyle brand – where the company we keep and the partner brands we've carefully curated serve to truly elevate the whole, to the benefit of our clients.

The brands we enjoy that embody genuine excellence play their small part in making our everyday lives just that little bit easier and better – and that's why the following brands are integrated options within our cabin solutions.

AUDIO –

Sonos.

We are an official, accredited supplier and distributor of Sonos systems – the only wireless audio solution we're happy to install in a Shack cabin.



shack X Sonos

GARDEN FURNITURE –

Mena Woodwork.

When we first saw these guys, we were blown away by the quality, the craftsmanship, and their design ethos. We really rate and respect what Olly and his team are all about, and we know you will too.



shack X Mena

KITCHEN –

Quooker

100°C boiling, chilled and sparkling water... all from one very clever, lovely looking tap. We didn't realise how excited taps could make us feel until we met our buddies at Quooker and started chatting about boiler tap and water filtration systems.



shack X Quooker

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INTERIOR SURFACING – Forcrete

Forcrete are the industry leaders in 'Microcement And Polished Concrete Systems'. What they do is such a blend of art and science, and we love using Forcrete in our cabin interiors.



shack X Forcrete

FIREPLACES – Caleo

Because there are fireplaces... and then there are fireplaces... and our friends at Caleo know the difference. For design classics and the latest in hanging and wall mounted fireplaces, Caleo are our go-to stockists.



shack X Caleo

REJUVENATION –

Lumi recovery pods

Yeah, as in... ice baths – because who doesn't want to take a dip in a tub full of ice cubes?! C'mon, last one in is a mopey salmon.



shack X Lumi

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Appendix: Part L compliance

The new Part L building regulations in the UK, which took effect from 15 June 2022, bring several important changes aimed at improving energy efficiency and reducing carbon emissions in both new and existing homes.

Reduced Carbon Emissions

All new homes must now produce 31% less carbon emissions compared to the previous Part L regulations. By adhering to these guidelines, buildings significantly reduce energy consumption through efficient heating, lighting, insulation, and ventilation systems, directly contributing to lower carbon emissions.

Standard Assessment Procedure (SAP) Test

New dwellings undergo a SAP test, which assesses overall energy efficiency. The SAP10 calculation replaces the previous SAP 2012 methodology, setting greater insulation requirements and introducing a new target primary energy rate expressed as kWhPE/(m² per year).

Emphasis on Low Carbon Heating Systems

The updated regulations place a strong focus on low carbon heating systems. By promoting sustainable and environmentally friendly heating solutions, the regulations aim to reduce reliance on fossil fuels and enhance overall energy efficiency.

Improved Energy Efficiency

The regulations aim to lower the energy demand of buildings by imposing higher standards for insulation, heating, lighting, and ventilation systems. As a result, buildings become more energy-efficient, leading to decreased utility costs over time.

In summary, the new Part L regulations prioritize energy efficiency, reduce carbon emissions, and encourage the adoption of sustainable technologies. Please see the full FAQs in the following pages of this Appendix on the separate, supporting document, which relate to and further detail compliance on the above points.

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Appendix: About us

Shack is a turnkey architecture and construction company, championing sustainable innovation in design, materials choices, building and recruitment practices.

When we talk about being a “cabin company”, we mean cabins in the most expansive, 21st Century sense. As in, amazing, luxury buildings made from timber, steel and glass. If you’ve ever visited California, British Columbia, New England, Norway or Sweden, then you probably know exactly what we mean. Having scoured the globe and been inspired by the very latest in timber construction and materials innovation, we have created a series of 5 core range proprietary designs in support of helping make everyone's everyday lives just that little bit happier and healthier. Because we recognise that people, place and space are symbiotic and interconnecting. The spaces we live in, how they are made, and how they relate to their context, all contribute (positively or negatively) to how we feel and enjoy each and every day.

Structural insulated panels (SIPs), ground-screws, next-generation heated glazing systems and Accoya cladding systems are just some of the materials choices that remain uncommon in UK (and indeed worldwide) construction, but that have significant positive impact on the carbon footprints of a buildings and are made possible and affordable through our cherry-picked supply chain partners.

Shack was conceived as a ‘sustainable-by-design’ business, and unencumbered by inherited, straight-jacketed conventions felt and upheld within the construction industry. With this said, Shack’s commercial efficacy lies in blending ‘outside-category thinking’ with best-in-class craft expertise. This is why Shack’s strategic partners consist of global construction powerhouses such as Kingspan, Westfraser, National Timber Group and Cortizo.

To us, *how* we build is just as important as *what* we build. We believe the traditional construction industry could be considerably more enlightened and needs reform. It is crying out for progressive, healthy disruption. Greater diversity and inclusivity in gender, colour and creed is a must. This starts with undermining negative stereotypes and usurping outdated conventions, and it quickly extends to a different approach to hiring, training, upskilling, apprenticeship programmes, and how subcontracting partners operate with one another.

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Cabin class just got upgraded.

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Architectural &
avant-garde cabins,
built sustainably,
for home, country estate & resort.

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